

HAWKS LAND

MINOR SUBDIVISION

A PART OF THE NORTHEAST & SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 19N, RANGE 7E
 A PART OF THE NORTHWEST & SOUTHWEST QUARTER SECTION 33, TOWNSHIP 19N, RANGE 7E
 ROCKCREEK TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA

SHEET 1 OF 2

BCS CONC. MON.
 NW COR., SW 1/4
 SEC. 33, T9N, R7E
 (BCS DATA SHEET)

ACREAGE TABLE

LOT 1	1.63 AC.
LOT 2	2.25 AC.
LOT 3	2.76 AC.
LOT 4	2.66 AC.
LOT 5	1.98 AC.
LOT 6	1.67 AC.
LOT 7	1.40 AC.
LOT 8	1.50 AC.
DEDICATED R/W	1.68 AC.
PARENT TRACT REM.	163.52 AC.(C)
TOTAL	181.05 AC.(R)

LEGEND

- 5/8"x30" REBAR AND CAP SET THIS SURVEY
- FOUND 5/8" REBAR
- ▲ SECTION CORNER AS LABELED
- (C) CALCULATED
- (R) RECORD OR PLAT DIMENSION
- VACATE DEED LINE (SEE SITE MAP)
- ☒ SEPTIC SITE LOCATION
- //// NO ACCESS

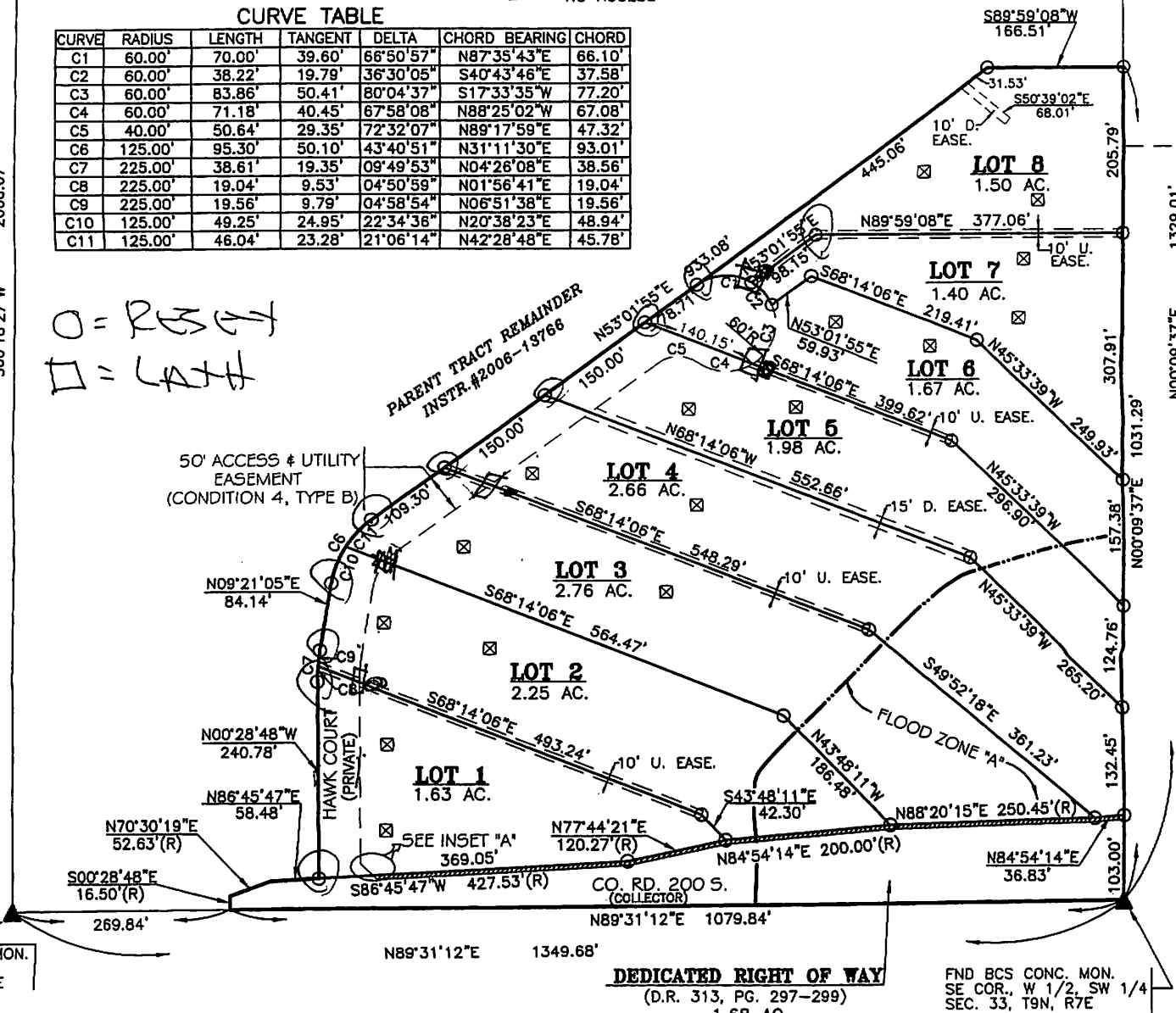
CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	60.00'	70.00'	39.60'	66°50'57"	N87°35'43"E	66.10'
C2	60.00'	38.22'	19.79'	36°30'05"	S40°43'46"E	37.58'
C3	60.00'	83.86'	50.41'	80°04'37"	S17°33'35"W	77.20'
C4	60.00'	71.18'	40.45'	67°58'08"	N88°25'02"W	67.08'
C5	40.00'	50.64'	29.35'	72°32'07"	N89°17'59"E	47.32'
C6	125.00'	95.30'	50.10'	43°40'51"	N31°11'30"E	93.01'
C7	225.00'	38.61'	19.35'	09°49'53"	N04°26'08"E	38.56'
C8	225.00'	19.04'	9.53'	04°50'59"	N01°56'41"E	19.04'
C9	225.00'	19.56'	9.79'	04°58'54"	N06°51'38"E	19.56'
C10	125.00'	49.25'	24.95'	22°34'36"	N20°38'23"E	48.94'
C11	125.00'	46.04'	23.28'	21°06'14"	N42°28'48"E	45.78'

○ = REBAR
 ☒ = LATH

2660.67'
 S00°18'27"W

1329.01'
 N00°09'37"E



SET 5 WITH NE COR. SEC.

ND BCS CONC. MON.
 W COR., SW 1/4
 EC. 33, T9N, R7E

FND BCS CONC. MON.
 SE COR., W 1/2, SW 1/4
 SEC. 33, T9N, R7E

AUDITOR'S PLAT MAP #10-97-32.00-1100 & 1200
 AUDITOR'S PLAT MAP #10-97-33.00-600
 INSTR. # 2006-13766
 THOMAS G. FRANCISCO & JANE A. FRANCISCO

G

PROPERTY DESCRIPTION

IP 9 NORTH, RANGE 7 EAST AND
9 NORTH, RANGE 7 EAST
NA

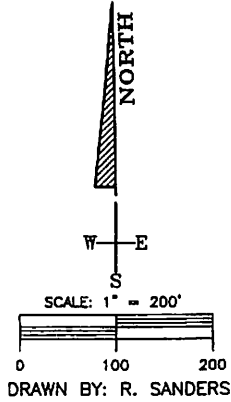
COMMENCING AT A POINT WHICH IS 113.65 RODS SOUTH OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 9 NORTH, RANGE 7 EAST, THENCE SOUTH 127.73 RODS TO THE SOUTHEAST CORNER OF SAID SECTION 32, THENCE WEST 80 RODS MORE OR LESS TO THE WEST LINE OF THE EAST HALF OF THE EAST HALF OF SAID SECTION; THENCE NORTH 127.80 RODS TO A POINT WHICH IS 113.71 RODS SOUTH OF THE NORTHEAST QUARTER OF SAID SECTION 32; THENCE WEST 80 RODS, MORE OR LESS, TO THE PLACE OF BEGINNING, AND CONTAINING 63.88 ACRES, MORE OR LESS, OFF THE SOUTH END OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 32.

ALSO: COMMENCING AT A POINT 60.35 RODS SOUTH OF THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 9 NORTH, RANGE 7 EAST; THENCE SOUTH 181.03 RODS TO THE SOUTHWEST CORNER OF THE WEST HALF OF THE SOUTHWEST QUARTER OF AFORESAID SECTION 33; THENCE EAST 80 RODS, MORE OR LESS, TO THE SOUTHEAST CORNER OF SAID WEST HALF; THENCE NORTH 181.27 RODS; THENCE WEST 80 RODS, MORE OR LESS, TO THE PLACE OF BEGINNING, AND CONTAINING 90.51 ACRES, MORE OR LESS.

ALSO: BEGINNING AT A POINT 60.35 RODS SOUTH OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 9 NORTH, RANGE 7 EAST; THENCE WEST 80 RODS, MORE OR LESS, TO THE WEST LINE OF SAID QUARTER QUARTER; THENCE SOUTH 53.33 RODS; THENCE EAST 80 RODS, MORE OR LESS, TO THE EAST LINE OF SAID SECTION 32; THENCE NORTH 53.30 RODS TO THE PLACE OF BEGINNING, AND CONTAINING 26.66 ACRES, MORE OR LESS, OUT OF THE MIDDLE PART OF THE EAST HALF OF THE EAST HALF OF SAID SECTION 32, ALL SITUATED IN ROCKCREEK TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA.

(TAKEN VERBATIM FROM INSTR. #2006-13766.)

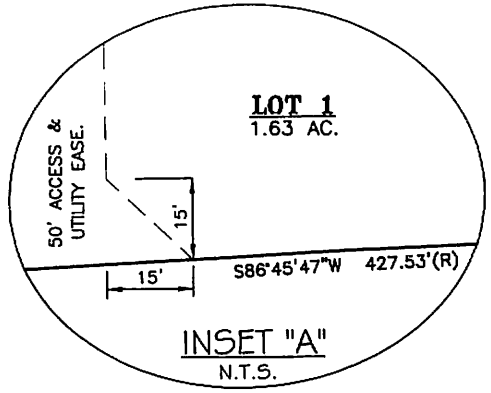
30" REBAR
CAP
SW 1/4, SW 1/4
9N, R7E



SURVEYOR'S CERTIFICATE

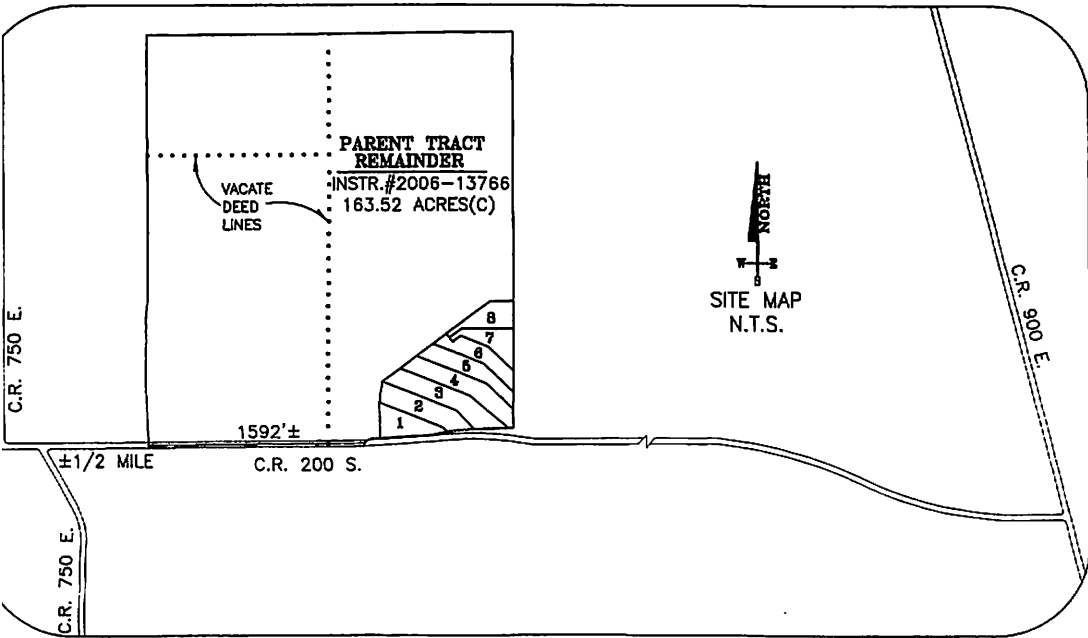
I, ENOCH R. GRAY, III, HEREBY STATE THAT I AM A PROFESSIONAL SURVEYOR, LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED BY ME NOVEMBER 2006 THROUGH APRIL OF 2007; THAT ANY CHANGES FROM THE DESCRIPTION APPEARING ON THE LAST RECORD TRANSFER OF THE LAND CONTAINED IN THIS PLAT ARE SO INDICATED; THAT ALL MONUMENTS SHOWN THEREON ACTUALLY EXIST OR WILL BE INSTALLED. I MAKE NO REPRESENTATION, EXPRESSED OR IMPLIED, AS TO THE SUITABILITY OF THIS REAL ESTATE FOR THE CONSTRUCTION OF BASEMENTS.

[Handwritten Signature] # 4.4.07
ENOCH R. GRAY III, LS-0516 DATE



LOT 1
BUCKEYE MINOR SUB.
P.B. Q, PG. 201B

I, ENOCH R. GRAY, III AFFIRM, UNDER PENALTIES OF PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.



JOB #6284
E.R. GRAY & ASSOCIATES
PROFESSIONAL LAND SURVEYING AND CONSULTING
E.R. GRAY III, L.S.
PRESIDENT
P.O. BOX 1357
COLUMBUS, INDIANA 47202
BUS. 812-372-7398 FAX 812-372-2175

HAWKS LANDING

MINOR SUBDIVISION

A PART OF THE NORTHEAST & SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 9 NORTH, RANGE 7 EAST AND
A PART OF THE NORTHWEST & SOUTHWEST QUARTER SECTION 33, TOWNSHIP 9 NORTH, RANGE 7 EAST
ROCKCREEK TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA

SHEET 2 OF 2

OWNER'S CERTIFICATE

WE THE UNDERSIGNED, THOMAS G. FRANCISCO AND JANE A. FRANCISCO, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE LAY OFF, PLAT, AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS "HAWKS LANDING", A MINOR SUBDIVISION CONSISTING OF 8 LOTS IDENTIFIED HEREON AS "LOTS 1, 2, 3, 4, 5, 6, 6, 7, 8, RIGHT OF WAY, AND PARENT TRACT REMAINDER" CONTAINING 181.05 ACRES.

CLEAR TITLE TO THE LAND CONTAINED IN THIS SUBDIVISION IS GUARANTEED.

THE SETBACK LINES SHALL BE DETERMINED BY THE REGULATIONS OF THE GOVERNING ENTITY HAVING JURISDICTION OVER THE PROPERTY SHOWN HEREIN.

THE PUBLIC STREETS AND ALLEYS SHOWN AND DESIGNATED AS SUCH AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC. OTHER PUBLIC LANDS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED FOR THE PURPOSES DESIGNATED HEREON.

THERE IS A 50 FOOT ACCESS AND UTILITY EASEMENT SHOWN ON THIS PLAT AND MARKED ACCORDINGLY. THIS IS INTENDED TO BE PRIVATE IN PERPETUITY, AND THERE IS NO OBLIGATION FOR ANY GOVERNMENT ENTITY TO ASSUME ANY RESPONSIBILITY FOR THIS EASEMENT NOW OR AT ANY FUTURE TIME. THE RESPONSIBILITY FOR MAINTENANCE AND SNOW REMOVAL IS SHARED EQUALLY BY THE OWNERS OF LOTS 1-8, AND NOT BY THE COUNTY.

THERE ARE STRIPS OF GROUND SHOWN ON THIS PLAT AND MARKED EASEMENT, RESERVED FOR THE USE OF PUBLIC UTILITIES AND SUBJECT TO THE PARAMOUNT RIGHT OF THE UTILITY OR COUNTY TO INSTALL, REPAIR, MAINTAIN OR REPLACE ITS INSTALLATION. DRAINAGE USE OF EASEMENTS IS HEREBY AUTHORIZED UNLESS OTHERWISE STATED. THOSE EASEMENTS NOTED AS SURFACE DRAINAGE EASEMENTS SHALL NOT BE DISTURBED IN SUCH A MANNER AS TO INTERFERE WITH THE FLOW OF STORMWATER. NO PLANTINGS, STRUCTURES, OR FILL SHALL BE PLACED IN SUCH EASEMENTS, NOR SHALL THEY BE REGRADED IN SUCH A MANNER AS TO IMPEDE THE FLOW OF STORMWATER.

THIS SUBDIVISION CONTAINS PROPERTY INCLUDED IN "ZONE A DISTRICT" ON THE NATIONAL FLOOD INSURANCE RATE/FLOODWAY MAP #180006 0100 B DATED MARCH 15, 1982. NO BUILDING MAY BE CONSTRUCTED OR SUBSTANTIALLY IMPROVED IN THE AREA SO DESIGNATED UNTIL A FLOOD ELEVATION HAS BEEN DETERMINED BY THE INDIANA DEPARTMENT OF NATURAL RESOURCES. ANY BUILDING CONSTRUCTED OR SUBSTANTIALLY IMPROVED AFTER THE DATE OF THIS INSTRUMENT IN THE "ZONE A DISTRICT" SHALL BE PROVIDED WITH A FLOOD PROTECTION GRADE WHICH IS AT LEAST TWO FEET ABOVE SAID FLOOD ELEVATION. THE FLOOD PROTECTION GRADE IS THE ELEVATION OF THE LOWEST FLOOR OF A BUILDING OR STRUCTURE. IF A BASEMENT IS INCLUDED, THE BASEMENT FLOOR SHALL BE CONSIDERED TO BE THE LOWEST FLOOR

THIS SUBDIVISION DRAWING SHOWS LAND WHICH IS MARKED AS A PARENT TRACT REMAINDER. THE LAND WAS NOT INCLUDED IN THE SURVEY AND IS SHOWN BASED UPON A DEED DESCRIPTION AS SHOWN IN INSTRUMENT #2006-13766. THE PARENT TRACT REMAINDER IS SUBJECT TO PLATTING REQUIREMENTS BEFORE A BUILDING PERMIT WILL BE ISSUED.

COVENANTS AND RESTRICTIONS ARE RECORDED IN INSTRUMENT #2007- 05819

WITNESS OUR HAND AND SEAL THIS 12th DAY OF December, 2006

Thomas G. Francisco
THOMAS G. FRANCISCO

Jane A. Francisco
JANE A. FRANCISCO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY APPEARED THOMAS G. FRANCISCO AND JANE A. FRANCISCO, WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS 12th DAY OF December, 2006

[Signature]
NOTARY PUBLIC

Terrings
COUNTY OF RESIDENCE

May 22, 2009
MY COMMISSION EXPIRES



PRIMARY APPROVAL

UNDER AUTHORITY PROVIDED BY IC 36-7-4-700, SUBDIVISION CONTROL, AND ANY AMENDMENTS THERETO, THIS PLAT WAS GIVEN PRIMARY APPROVAL BY THE COUNTY OF BARTHOLOMEW, INDIANA AS FOLLOWS:

APPROVED BY COUNTY PLAN COMMISSION AT A MEETING HELD JANUARY 17, 2007.

[Signature]
CHAIRMAN -

[Signature]
SECRETARY -

VOID UNLESS SECONDARY APPROVAL IS RECEIVED BY: May 17, 2007

SECONDARY APPROVAL

ALL CONDITIONS OF PRIMARY APPROVAL HAVE BEEN MET AND THIS PLAT IS GRANTED SECONDARY APPROVAL.

APPROVED BY THE PLANNING DEPARTMENT February 5, 2007.

[Signature]
JEFFREY R. BERGMAN, AICP, PLANNING DIRECTOR

VOID UNLESS RECORDED BY February 5, 2008



BOARD OF COUNTY COMMISSIONERS

THE DEDICATIONS SHOWN ON THIS PLAT ARE HEREBY ACCEPTED BY THE BOARD OF COUNTY

COMMISSIONERS OF BARTHOLOMEW COUNTY, INDIANA, AT A MEETING HELD ON THE 5th

DAY OF February, 2007

BOARD OF COUNTY COMMISSIONERS:

[Signature]
CARL H. LIENHOOP

[Signature]
PAUL FRANKE

[Signature]
LARRY S. KLEINHENZ

[Signature]
ATTEST: NANCY MCKINNEY
BARTHOLOMEW COUNTY AUDITOR

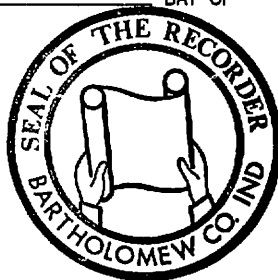
AUDITOR CERTIFICATE

THE REAL PROPERTY HAS BEEN DULY ENTERED FOR TAXATION AND TRANSFERRED ON THE

RECORDS OF THE AUDITOR OF BARTHOLOMEW COUNTY, THIS 17th DAY OF

April, 2007

[Signature]
NANCY MCKINNEY, BARTHOLOMEW COUNTY AUDITOR



RECORDING CERTIFICATE

RECORDED IN PLAT BOOK "R", PAGE 149C, THIS 17 DAY OF April

2007 AT 10:16 O'CLOCK A.M.

INSTRUMENT NO. 2007-5817 FEE PAID \$ 25.00

[Signature]
BETTY JEAN BESHEAR, BARTHOLOMEW COUNTY RECORDER

SURVEYOR'S REPORT RECORDED IN INSTRUMENT NUMBER 2007-5818

JOB #6284



E.R. GRAY & ASSOCIATES
PROFESSIONAL LAND SURVEYING AND CONSULTING

E.R. GRAY III, L.S.
PRESIDENT

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